

# PORTION OF THE S.E. 1/4, S.E. 1/4, SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.

DATE: \_\_\_\_\_ FILEBOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_ DRAWING NO.: C07 SHEET 7 OF 29

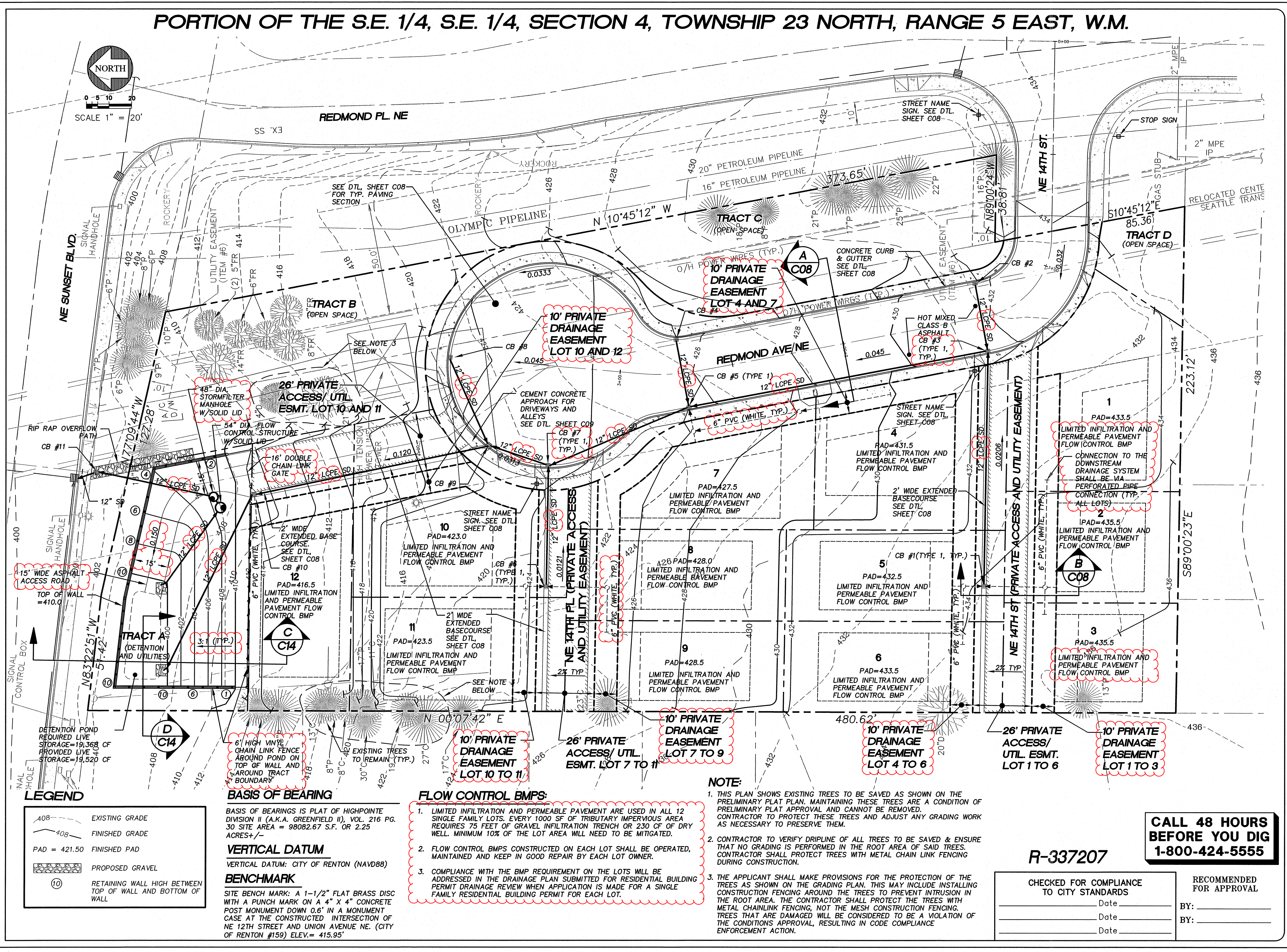
PAPER SPACE: REEDSHAW PLAT GRADING AND DRAINAGE PLAN

CITY OF RENTON

SCALE: 1" = 20'

VERTICAL DATUM: NAVD88

NO.	DATE	BY	REVISION
2	08-09-2012	JCC	PER CITY OF RENTON COMMENTS



**LEGEND**

- EXISTING GRADE
- FINISHED GRADE
- FINISHED PAD
- PROPOSED GRAVEL
- RETAINING WALL HIGH BETWEEN TOP OF WALL AND BOTTOM OF WALL

**BASIS OF BEARING**  
BASIS OF BEARINGS IS PLAT OF HIGHPOINT DIVISION II (A.K.A. GREENFIELD II), VOL. 216 PG. 30 SITE AREA = 98082.67 S.F. OR 2.25 ACRES +/-

**VERTICAL DATUM**  
VERTICAL DATUM: CITY OF RENTON (NAVD88)

**BENCHMARK**  
SITE BENCH MARK: A 1-1/2" FLAT BRASS DISC WITH A PUNCH MARK ON A 4" X 4" CONCRETE POST MONUMENT DOWN 0.6' IN A MONUMENT CASE AT THE CONSTRUCTED INTERSECTION OF NE 12TH STREET AND UNION AVENUE NE. (CITY OF RENTON #159) ELEV. = 415.95'

- FLOW CONTROL BMPs:**
- LIMITED INFILTRATION AND PERMEABLE PAVEMENT ARE USED IN ALL 12 SINGLE FAMILY LOTS. EVERY 1000 SF OF TRIBUTARY IMPERVIOUS AREA REQUIRES 75 FEET OF GRAVEL INFILTRATION TRENCH OR 230 CF OF DRY WELL. MINIMUM 10% OF THE LOT AREA WILL NEED TO BE MITIGATED.
  - FLOW CONTROL BMPs CONSTRUCTED ON EACH LOT SHALL BE OPERATED, MAINTAINED AND KEEP IN GOOD REPAIR BY EACH LOT OWNER.
  - COMPLIANCE WITH THE BMP REQUIREMENT ON THE LOTS WILL BE ADDRESSED IN THE DRAINAGE PLAN SUBMITTED FOR RESIDENTIAL BUILDING PERMIT DRAINAGE REVIEW WHEN APPLICATION IS MADE FOR A SINGLE FAMILY RESIDENTIAL BUILDING PERMIT FOR EACH LOT.

**NOTE:**

- THIS PLAN SHOWS EXISTING TREES TO BE SAVED AS SHOWN ON THE PRELIMINARY PLAT PLAN. MAINTAINING THESE TREES ARE A CONDITION OF PRELIMINARY PLAT APPROVAL AND CANNOT BE REMOVED. CONTRACTOR TO PROTECT THESE TREES AND ADJUST ANY GRADING WORK AS NECESSARY TO PRESERVE THEM.
- CONTRACTOR TO VERIFY DRIPLINE OF ALL TREES TO BE SAVED & ENSURE THAT NO GRADING IS PERFORMED IN THE ROOT AREA OF SAID TREES. CONTRACTOR SHALL PROTECT TREES WITH METAL CHAIN LINK FENCING DURING CONSTRUCTION.
- THE APPLICANT SHALL MAKE PROVISIONS FOR THE PROTECTION OF THE TREES AS SHOWN ON THE GRADING PLAN. THIS MAY INCLUDE INSTALLING CONSTRUCTION FENCING AROUND THE TREES TO PREVENT INTRUSION IN THE ROOT AREA. THE CONTRACTOR SHALL PROTECT THE TREES WITH METAL CHAINLINK FENCING, NOT THE MESH CONSTRUCTION FENCING. TREES THAT ARE DAMAGED WILL BE CONSIDERED TO BE A VIOLATION OF THE CONDITIONS APPROVAL, RESULTING IN CODE COMPLIANCE ENFORCEMENT ACTION.

**CALL 48 HOURS BEFORE YOU DIG**  
1-800-424-5555

R-337207

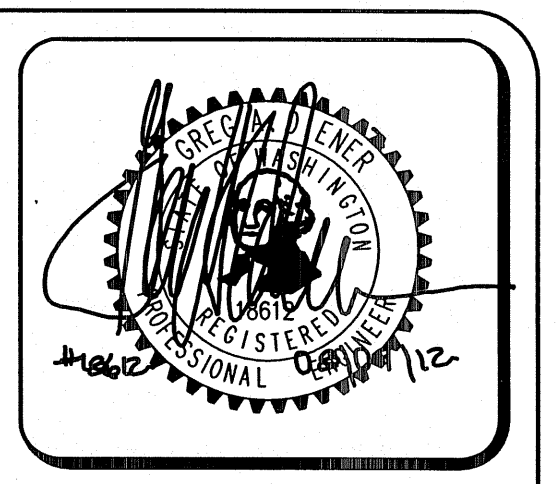
CHECKED FOR COMPLIANCE TO CITY STANDARDS

RECOMMENDED FOR APPROVAL

Date \_\_\_\_\_ BY: \_\_\_\_\_

Date \_\_\_\_\_ BY: \_\_\_\_\_

Date \_\_\_\_\_ BY: \_\_\_\_\_



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REEDSHAW PLAT

RENTON, WA

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PROJECT NO.: 12007  
DRAWN BY: VK  
ISSUE DATE: 12/05/06  
SHEET REV.: 08/09/2012

**GRADING AND DRAINAGE PLAN**

06085GR01-C07.DWG

**C07**

SHEET 7 OF 29