

PORTION OF THE S.E. 1/4, S.E. 1/4, SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.

REEDSHAW PLAT

RENTON, WA.

(PROJECT NO. 04037)

(PARCEL NO. 0423059064)

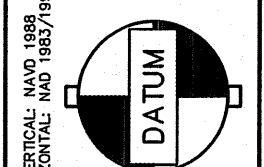
OWNER/DEVELOPER : CALLIDUS DEVELOPMENT INC. 16838 SE 43RD STREET ISSAQUAH, WA 98027 PHONE: (425) 818-8829 FAX: (425) 818-8843

CIVIL ENGINEER : PACIFIC ENGINEERING DESIGN, LLC 15445 53RD AVE. S., SEATTLE, WA 98188 PHONE: (206) 431-7970 FAX: (253) 631-4343

SURVEYOR : HANSEN SURVEYING 17420 116TH AVE S.E. RENTON, WA 98058 PHONE: (425) 235-8440

REEDSHAW PLAT COVER SHEET

CITY OF RENTON

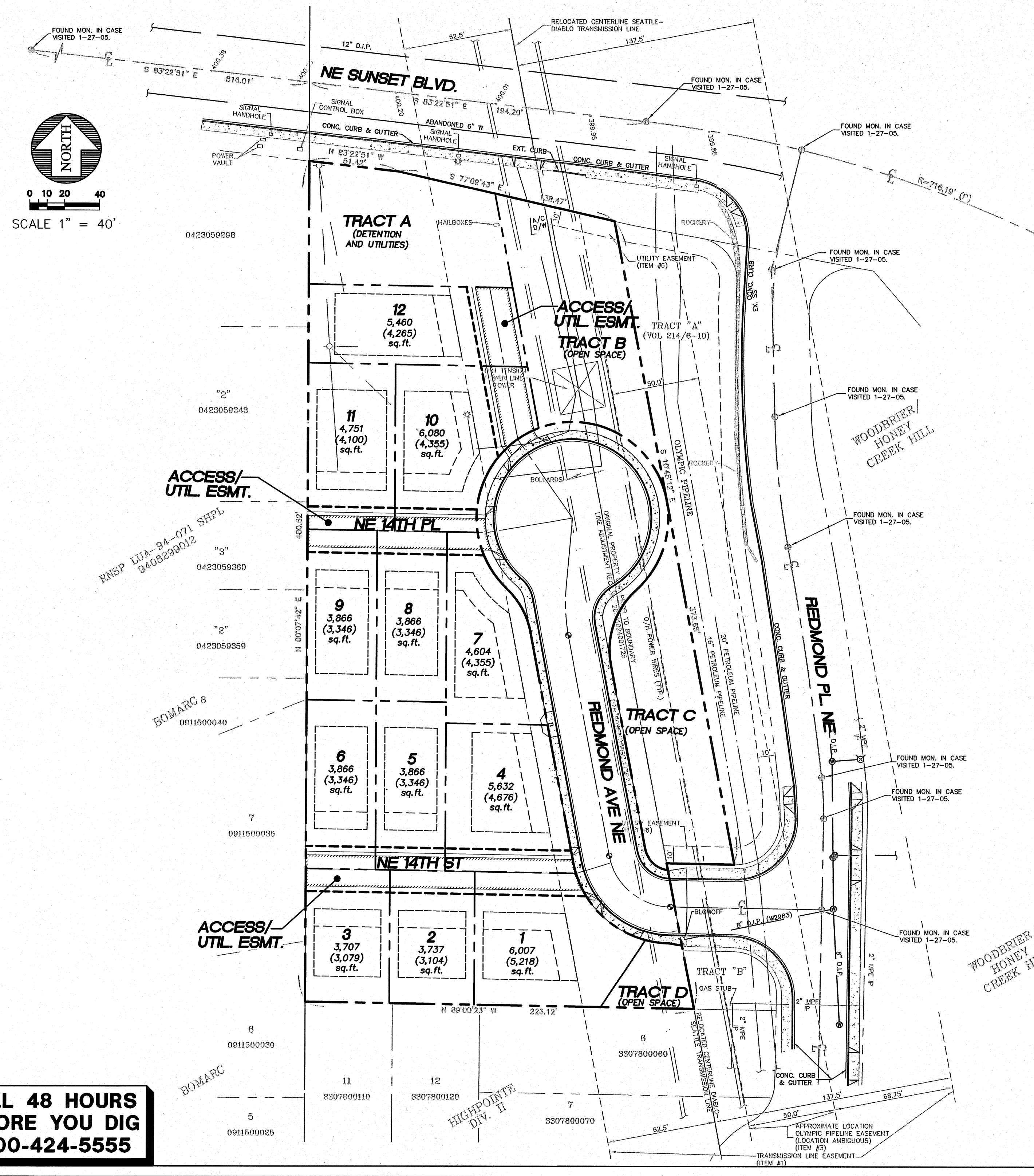


SCALE: 1" = 40'

DESIGNED:	LEL
DRAWN:	JF
CHECKED:	GAD
APPROVED:	
DATE:	
BY:	

NO.	2
PER CITY OF RENTON COMMENTS	
REVISION	

CALL 48 HOURS BEFORE YOU DIG 1-800-424-5555



SHEET INDEX

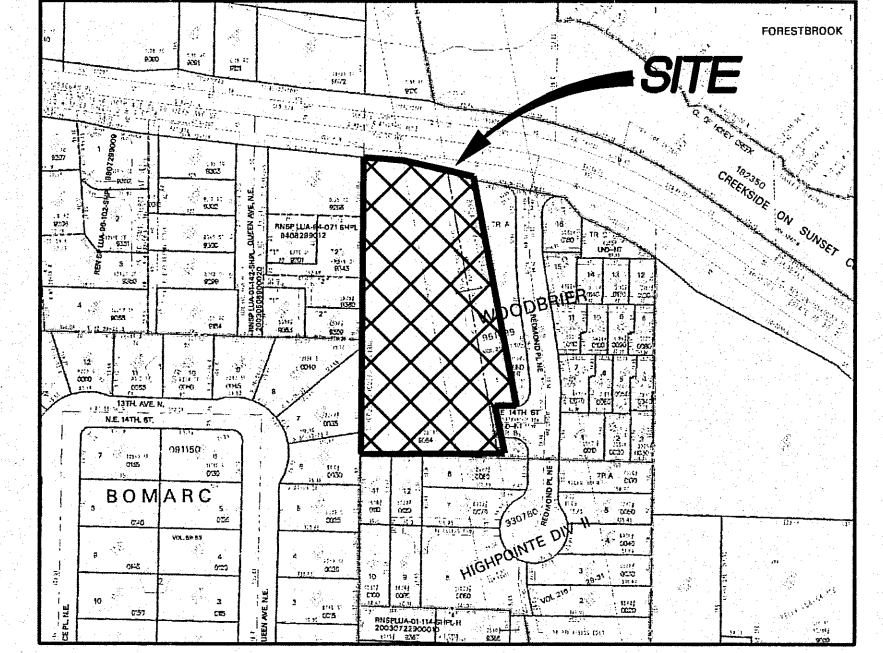
- C01 - COVER SHEET
- C02 - TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN
- C03 - TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS
- C04 - TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES
- C05 - HORIZONTAL CONTROL PLAN
- C06 - COMPOSITE UTILITY PLAN
- C07 - GRADING AND DRAINAGE PLAN
- C08 - GRADING DETAILS AND NOTES
- C09 - GRADING DETAILS AND NOTES
- C10 - NE 14TH ST ROAD AND STORM PLAN AND PROFILE
- C11 - NE 14TH PL ROAD AND STORM PLAN AND PROFILE
- C12 - REDMOND AVE NE ROAD AND STORM PLAN AND PROFILE
- C13 - STORM LINE PLAN AND PROFILE THROUGH DETENTION POND
- C14 - DETENTION POND PLAN AND SECTIONS
- C15 - STORM DRAINAGE DETAILS AND NOTES
- C16 - STORM DRAINAGE DETAILS
- C17 - NE 14TH ST SANITARY SEWER PLAN AND PROFILE
- C18 - NE 14TH PL SANITARY SEWER PLAN AND PROFILE
- C19 - REDMOND AVE NE SANITARY SEWER PLAN AND PROFILE
- C19A - REDMOND AVE NE SANITARY SEWER PLAN AND PROFILE
- C20 - SANITARY SEWER DETAILS AND NOTES
- C21 - NE 14TH ST WATER PLAN AND PROFILE
- C22 - NE 14TH PL WATER PLAN AND PROFILE
- C23 - REDMOND AVE NE WATER PLAN AND PROFILE
- C24 - WATER DETAILS AND NOTES
- C25 - WATER DETAILS
- C26 - WATER DETAILS
- C27 - EXISTING CONDITIONS PLAN
- C28 - PIPELINE CROSSING NOTES

LEGEND

- 2 - LOT NUMBER
- 3,737 (3,098) sq.ft. - GROSS LOT AREA
- NET LOT AREA OUTSIDE ACCESS EASEMENT
- PROPERTY LINE

PARCELS		
PARCEL	AREA IN SF	AREA IN AC
06085 REEDSHAW PLAT	98082.67	2.25
LOT 1	6006.84	0.14
LOT 2	3737.30	0.09
LOT 3	3706.90	0.09
LOT 4	5631.54	0.13
LOT 5	3865.69	0.09
LOT 6	3865.69	0.09
LOT 7	4603.84	0.11
LOT 8	3865.77	0.09
LOT 9	3865.77	0.09
LOT 10	6080.18	0.14
LOT 11	4750.54	0.11
LOT 12	5459.91	0.13
TRACT A	7069.28	0.16
TRACT B	8487.81	0.19
TRACT D	1419.05	0.03
ROAD A	17817.37	0.41

VICINITY MAP



ZONING

R-10

SITE AREA

2.25 ACRES (98,067 SF)

BASIS OF BEARING

BASIS OF BEARINGS IS PLAT OF HIGHPOINT DIVISION II (A.K.A. GREENFIELD II), VOL. 216 PG. 30 SITE AREA = 98082.67 S.F. OR 2.25 ACRES +/-

VERTICAL DATUM

VERTICAL DATUM: CITY OF RENTON (NAVD88)

BENCHMARK

SITE BENCH MARK:

A 1-1/2" FLAT BRASS DISC WITH A PUNCH MARK ON A 4" X 4" CONCRETE POST MONUMENT DOWN 0.6' IN A MONUMENT CASE AT THE CONSTRUCTED INTERSECTION OF NE 12TH STREET AND UNION AVENUE NE. (CITY OF RENTON #159) ELEV.= 415.95'

NOTE:

CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7:00AM AND 8:00PM, MONDAY THROUGH FRIDAY AND 9:00AM AND 8:00PM SATURDAY (RMC SECTION 4-4-030.C.3.B). IN ADDITION, HAUL HOURS ARE LIMITED TO THE HOURS BETWEEN 8:30AM AND 3:30PM MONDAY THROUGH FRIDAY, UNLESS APPROVED IN WRITING IN ADVANCE BY THE DEVELOPMENT SERVICES DIVISION (RMC 4-4-030.C.2).

LEGAL DESCRIPTION

THAT PORTION OF THE WEST 470 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, IN KING COUNTY, WASHINGTON, LYING WEST OF THE CENTERLINE OF THE RELOCATED DIABLO-SEATTLE TRANSMISSION CENTERLINE RIGHT OF WAY;

EXCEPT THEREFROM THE SOUTH 470 FEET AND ALSO EXCEPTING THAT PORTION LYING NORTH OF THE SOUTH LINE OF PRIMARY STATE HIGHWAY NO. 2 (RENTON-ISSAQUAH ROAD); ALSO

EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 7107300165.

TOGETHER WITH THE WESTERLY 38 FEET OF TRACT A, WOODBRIER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 214 OF PLATS, PAGES 6 THROUGH 10, IN KING COUNTY, WASHINGTON.

PROPERTY ADDRESS: 3705 NE SUNSET BLVD., RENTON, WA

TAX PARCEL NO.: 0423059064

R-337201

CHECKED FOR COMPLIANCE TO CITY STANDARDS

Date \_\_\_\_\_  
Date \_\_\_\_\_  
Date \_\_\_\_\_

RECOMMENDED FOR APPROVAL

BY: \_\_\_\_\_  
BY: \_\_\_\_\_



15445 53RD AVE. S.  
SEATTLE, WA 98188  
PHONE: (206) 431-7970  
FAX: (206) 388-1648  
WEB SITE: PACENG.COM

Pacific Engineering Design, LLC  
Civil Engineering and Planning Consultants

REEDSHAW PLAT

FOR: CALLIDUS DEVELOPMENT INC. 16838 SE 43RD STREET ISSAQUAH, WA 98027 PHONE: (425) 818-8829 FAX: (425) 818-8843

PROJECT NO.: 12007  
DRAWN BY: JF  
ISSUE DATE: 12/05/06  
SHEET REV.: 07/19/2012

COVER SHEET

06085CV01-C01.DWG  
**C01**  
SHEET 1 OF 29