

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND OF THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.
- THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES (DDES) ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DDES PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.
- APPROVAL OF THIS ROAD, GRADING, AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G., DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.).
- BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DDES LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
- A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
- IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF KCRS CHAPTER 8 ARE SUBMITTED TO THE DDES LAND USE INSPECTION SECTION THREE DAYS PRIOR TO CONSTRUCTION.
- DATUM SHALL BE KCAS UNLESS OTHERWISE APPROVED BY DDES.
- DEWATERING SYSTEM (UNDERDRAIN) CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION. ALL UNDERDRAIN SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.
- ALL UTILITY TRENCHES AND ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY, STANDARD PROCTOR.
- OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY DDES AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY KING COUNTY.

SHEET INDEX

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HORIZONTAL CONTROL

- KING COUNTY SURVEY CONTROL POINT No. 6897. EAST QUARTER OF SECTION 28, T 21 N, R 4 E, W.M., CONCRETE MONUMENT WITH LEAD AND BRASS TACK, SET 1.6 FEET BELOW GRADE, IN STANDARD KC MON. CASE. NORTHING: 105165.739 (FEET) EASTING: 1278265.994 (FEET)
- KING COUNTY SURVEY CONTROL POINT No. 6907. NE CORNER OF SECTION 33, T 21 N, R 4 E, W.M., CONCRETE MONUMENT WITH LEAD AND BRASS TACK, SET 0.6 FEET BELOW GRADE, IN STANDARD KC MON. CASE. NORTHING: 102529.986 (FEET) EASTING: 1278209.517 (FEET)

VERTICAL DATUM:

NAVD 88

BENCH MARK:

KING COUNTY SURVEY CONTROL POINT No. 6905. SW CORNER OF SECTION 27, T 24 N, R 4 E, W.M., CONCRETE MONUMENT WITH LEAD AND BRASS TACK, SET 1.2 FEET BELOW GRADE, IN STANDARD KC MON. CASE. ELEVATION = 367.06

TO CONVERT FROM NAVD 88 TO NGVD-29 USE -3.58'

EXAMPLE : 367.06 NAVD 88
-3.58

363.48 NGVD-29

DATE	REVISIONS NATURE
7/20/2011	ADDED OVERALL SITE PLAN AND REVISED SHEET SET
9/13/2011	ADDED EROSION CONTROL SUPERVISOR CONTACT INFORMATION AND A NOTE FOR FINAL CERTIFICATE OF OCCUPANCY.

LEGAL DESCRIPTION:

ALL OF BLOCK 4, JOVITA, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 19 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON.

SITE DATA:

EXISTING ZONE: R-4
PROPERTY AREA: 5.78 ACRES
PERCEL NUMBER: 3750600012
PREVIOUS BUILDING PERMIT: B04L2425
ADDRESS: 4511 SOUTH 360TH STREET, FEDERAL WAY, WA 98001

SOIL BEARING CAPACITY

1500 LB/SF

UTILITY PURVEYORS

WATER: LAKEHAVEN UTILITY DISTRICT
SEWER: LAKEHAVEN UTILITY DISTRICT
POWER: PUGET SOUND ENERGY
TELEPHONE: QWEST COMMUNICATIONS
CABLEVISION: ATT BROADBAND
GAS: PUGET SOUND ENERGY
SCHOOL DISTRICT: FEDERAL WAY #210
FIRE DISTRICT: SOUTH KING FIRE AND RESCUE

CUP PERMIT NUMBER

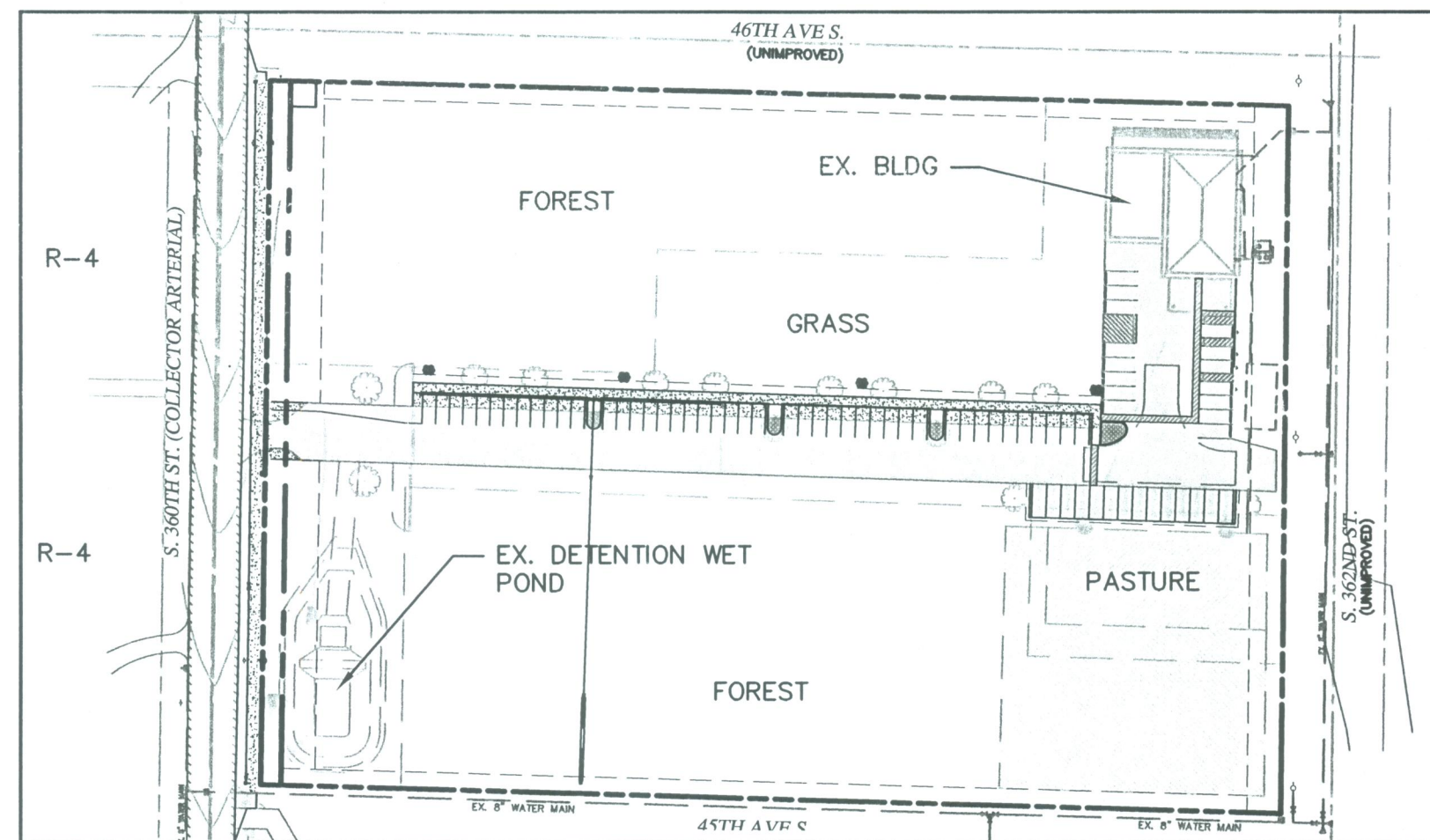
L08CU002

NOTE:

RIGHT OF WAY IMPROVEMENT FINAL CONSTRUCTION APPROVAL REQUIRED PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.

DRAINAGE NOTES

- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO DDES PRIOR TO THE CONSTRUCTION OF THE DRAINAGE FACILITIES, PREFERABLY AT THE PRECONSTRUCTION MEETING.
- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT SPECIFICATIONS. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL, AND ANY REQUIRED BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- STEEL PIPE SHALL BE ALUMINIZED, OR GALVANIZED WITH ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
- ALL CATCH BASIN GRATES SHALL CONFORM TO KCRS WHICH INCLUDES THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS" AND "PROPERTY OF KING COUNTY", EXCEPT THAT PRIVATE DRAINAGE SYSTEMS SHALL NOT HAVE THE WORDS "PROPERTY OF KING COUNTY".
- ALL DRIVEWAY CULVERTS LOCATED WITHIN KING COUNTY RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE KCRS.
- ROCK FOR EROSION PROTECTION OF DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF ONE FOOT, AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8"/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND -2" ROCK/10%-20% PASSING. INSTALLATION SHALL BE IN ACCORDANCE WITH KCRS.
- DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, EXCEPT FOR THOSE LOTS APPROVED FOR INFILTRATION BY KING COUNTY. STUB-OUTS SHALL CONFORM TO THE FOLLOWING:
 - EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.
 - OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT-HIGH, 2" X 4" STAKE MARKED "STORM" OR "DRAIN". THE STUB-OUT SHALL EXTEND ABOVE SURFACE LEVEL, BE VISIBLE, AND BE SECURED TO THE STAKE.
 - PIPE MATERIAL SHALL CONFORM TO UNDERDRAIN SPECIFICATIONS DESCRIBED IN KCRS AND, IF NON-METALLIC, THE PIPE SHALL CONTAIN WIRE OR OTHER ACCEPTABLE DETECTION.
 - DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.
 - THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO UTILITIES (E.G., POWER, GAS, TELEPHONE, TELEVISION).
 - ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOMEOWNER.
- ALL DISTURBED PVIOUS AREAS (COMPACTED, GRADED, LANDSCAPED, ETC.) OF THE DEVELOPMENT SITE MUST DEMONSTRATE ONE OF THE FOLLOWING: THE EXISTING DUFF LAYER SHALL BE STAGED AND REDISTRIBUTED TO MAINTAIN THE MOISTURE CAPACITY OF THE SOIL, OR; AMENDED SOIL SHALL BE ADDED TO MAINTAIN THE MOISTURE CAPACITY.
- SEASONAL CLEARING IS LIMITED BETWEEN OCTOBER 1 AND MARCH 30 INCLUSIVE, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
- IMPROVEMENTS AND/OR BUILDINGS SHALL NOT BE INSTALLED UNTIL DRAINAGE FACILITIES ARE "IN OPERATION", (KCC 9.04).



OVERALL SITE PLAN Scale 1"=100'

EROSION CONTROL SUPERVISOR

AAA ROCKERY AND CONSTRUCTION INC.
24820 PACIFIC HIGHWAY SOUTH
KENT, WA 98032
PHONE: (253) 839-8853
FAX: (253) 839-8936

PROJECT ENGINEER

PACIFIC ENGINEERING DESIGN, LLC
15445 53RD AVE. S.
SEATTLE, WA, 98188
PHONE: (206) 431-7970
FAX: (206) 388-1648

ARCHITECT

RUTLEDGE MAUL ARCHITECTS
19336 47TH AVE NE
LAKE FOREST PARK, WA 98155-2954
PHONE: (206) 440-0330
FAX: (206) 362-4381

SURVEYOR

HANSON SURVEYING
17701 108TH AVE. SE
RENTON, WA 98055
PHONE: (425) 235-8440
FAX: (425) 235-0266

LANDSCAPE ARCHITECT

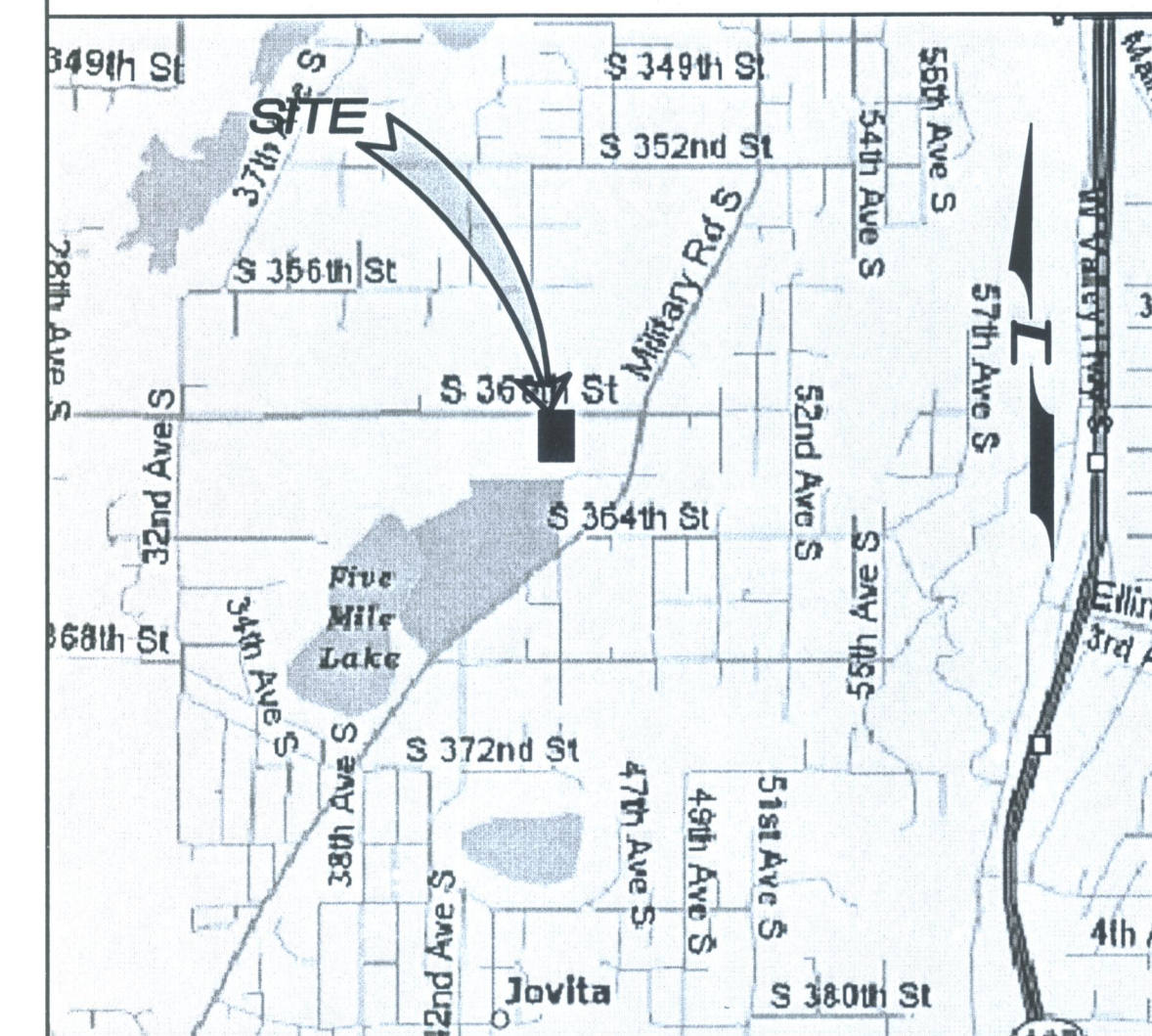
GLENN TAKAGI
18550 FIRLANDS WAY N STE 102
SHORELINE, WA 98133-3984
PHONE: (206) 542-6100
FAX: (206) 546-1128

TRAFFIC ENGINEER

WILLIAM POPP ASSOCIATES, INC.
14400 BEL RED ROAD # 206
BELLEVUE, WA 98007-3952
PHONE: (425) 401-1030

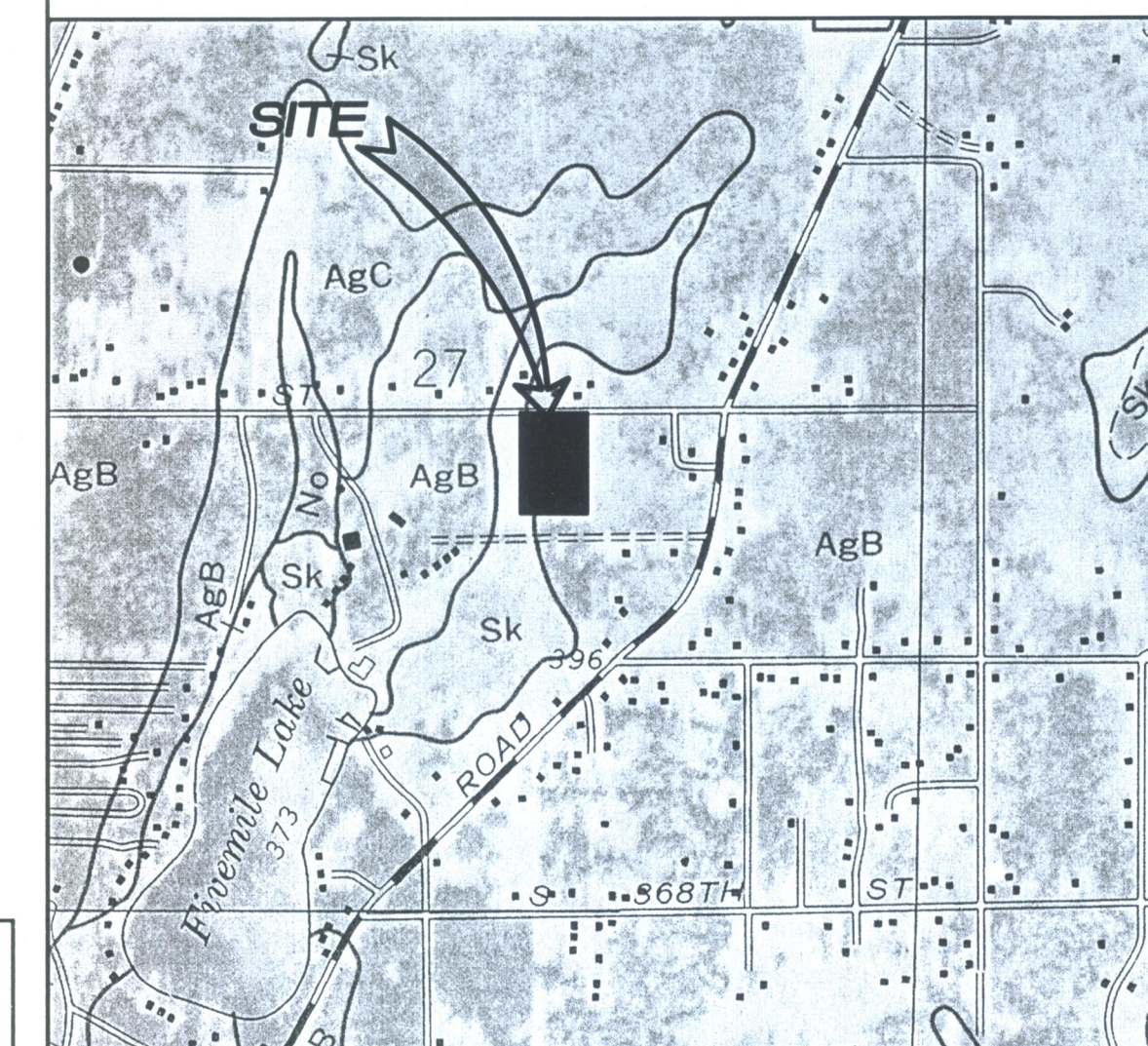
Vicinity Map

Scale 1"=2000'



Soils Map

Scale 1"=1000'



Notice Required

Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency conditions as required.

LAKEHAVEN UTILITY DISTRICT	(253) 941-1516
Sanitary Sewer	
LAKEHAVEN UTILITY DISTRICT	(253) 941-1516
Water District	
PUGET SOUND ENERGY	(800) 321-4123
Gas Company	
PUGET SOUND ENERGY	(800) 321-4123
Power Company	
QWEST	(800) 975-7526
Telephone Company	
COMCAST	(800) 266-2278
TV Company	
Call Before You Dig	DIAL-A-DIG 1-800-424-5555

Notes

- The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-6642, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
 - Installing siltation and erosion control measures
 - Clearing and grubbing
 - Earthwork
 - Installation of any underground utility
 - Before placing subbase, base or paving surfaces
 - Installation of any forms or placing any concrete
- A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
- A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

Bonding Information

Restoration Bond Amount \$ _____
Performance Bond Amount \$ _____

Site Plan Approval

Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.

Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.

Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

PRO RATA SHARE ASSESSMENT ANALYSIS (County Use Only)

Section	Township	Range	Tax Parcel	Number
127	21	04	375101610	00112

Site Location is within the _____ drainage shed(s)

Pro Rata Share Assessment(s) are: Required Not Required from the site due to development for increased storm water runoff.

Peak Runoff Assessment Rate(\$) per c.f.s. increases (10 year, 2 hour storm)

Peak Volume Assessment Rate(\$) per Ac. Ft. increases (2 year, 2 hour storm)

AGREEMENTS, PLAN REFERENCES, PERMITS ETC. (To be completed by Consultant)

CUP Approval/Permit Issued Date:	11/05/2008
Expiration Date:	9/26/2011
Other Related Permit Numbers Received:	
Right-of-Way Use Permit	S-89-10
Grading	
Building/Structural	
Other ABC	B10M1373
Board feet of tree removal on site:	0
Cubic yards of material hauled on/off the site:	
Is this a highly sensitive area site? (Yes/No):	No
Note: If "yes", per SWDM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.	

Emergency 911
Police-Fire-Rescue

KING COUNTY D.D.E.S. BUILDING SERVICES DIVISION COMMERCIAL PROJECT APPROVAL

Project No. B10M1373
Project Name: RAM NIWAS CHURCH

SITE ENGINEERING/DRAINAGE APPROVAL
DATE: 9/21/11 SIGNED: [Signature]

TRAFFIC PLANNING APPROVAL
DATE: 9/21/11 SIGNED: [Signature]

LANDSCAPE/ZONING/PARKING APPROVAL
DATE: 9/21/11 SIGNED: [Signature]

SPECIAL CONDITIONS: RIGHT-OF-WAY WORK NOT AUTHORIZED UNDER THIS PERMIT

King County DDES Approval

Review Engineer:	Date:
Senior Engineer:	Date:
Development Engineer:	Date:
Molly A. Johnson, P.E.	

PROJECT CONTACT INFORMATION (To be completed by Consultant)

Applicant/Contract Owner/Lease	PAUL PUREWAL (253) 839-8853
Name	
Address and Zip Code	24820 PACIFIC HWY S, KENT, WA 98032
Ownership	
Owner/Trustee	SATGURU RAM SINGH STANG (206) 304-1911
Name	
Address and Zip Code	15701 138TH PLACE SE, RENTON, WA 98058
Certified Surveyor or Engineer	PACIFIC ENGINEERING DESIGN, LLC (206) 431-7970
Name	
Address and Zip Code	15445 53RD AVE. S., SEATTLE, WA, 98188

A Partnership
 An Individual
 A Corporation
 An Individual

PACIFIC ENGINEERING DESIGN, LLC
CIVIL ENGINEERING AND PLANNING CONSULTANTS
15445 53RD AVE. S., SEATTLE, WA, 98188 PHONE: (206) 431-7970 FAX: (206) 388-1648
Project Coordinator Phone (206) 431-7970

FOR: RAM NIWAS CHURCH
15701 138TH PLACE SE
RENTON, WA 98058
PHONE: (206) 304-1911

DDES FILE NUMBERS:
Activity Number: B10M1373
Project Number: B10M1373
Development No: _____

Sheet 1 of 8

