

VICINITY MAP

NOT TO SCALE

PROJECT DIRECTORY

OWNER: SATGURU RAM SINGH SATANG
15701 138TH PL. S.E.
KENTON, WA 98058
(206) 304-1911

ARCHITECT: RUTLEDGE MAUL ARCHITECTS
19338 47TH AVE. N.E.
SEATTLE, WA 98155
(206) 440-0330
(206) 362-4381 (FAX)
CONTACT: DAVE MAUL

STRUCTURAL ENGINEER: QUANTUM CONSULTING ENGINEERS
1511 3RD AVE. SUITE 323
SEATTLE, WA, 98101
(206) 957-3900
(206) 957-3901 (FAX)
CONTACT: DANIEL FENTON

CONTRACTOR: T.B.D.

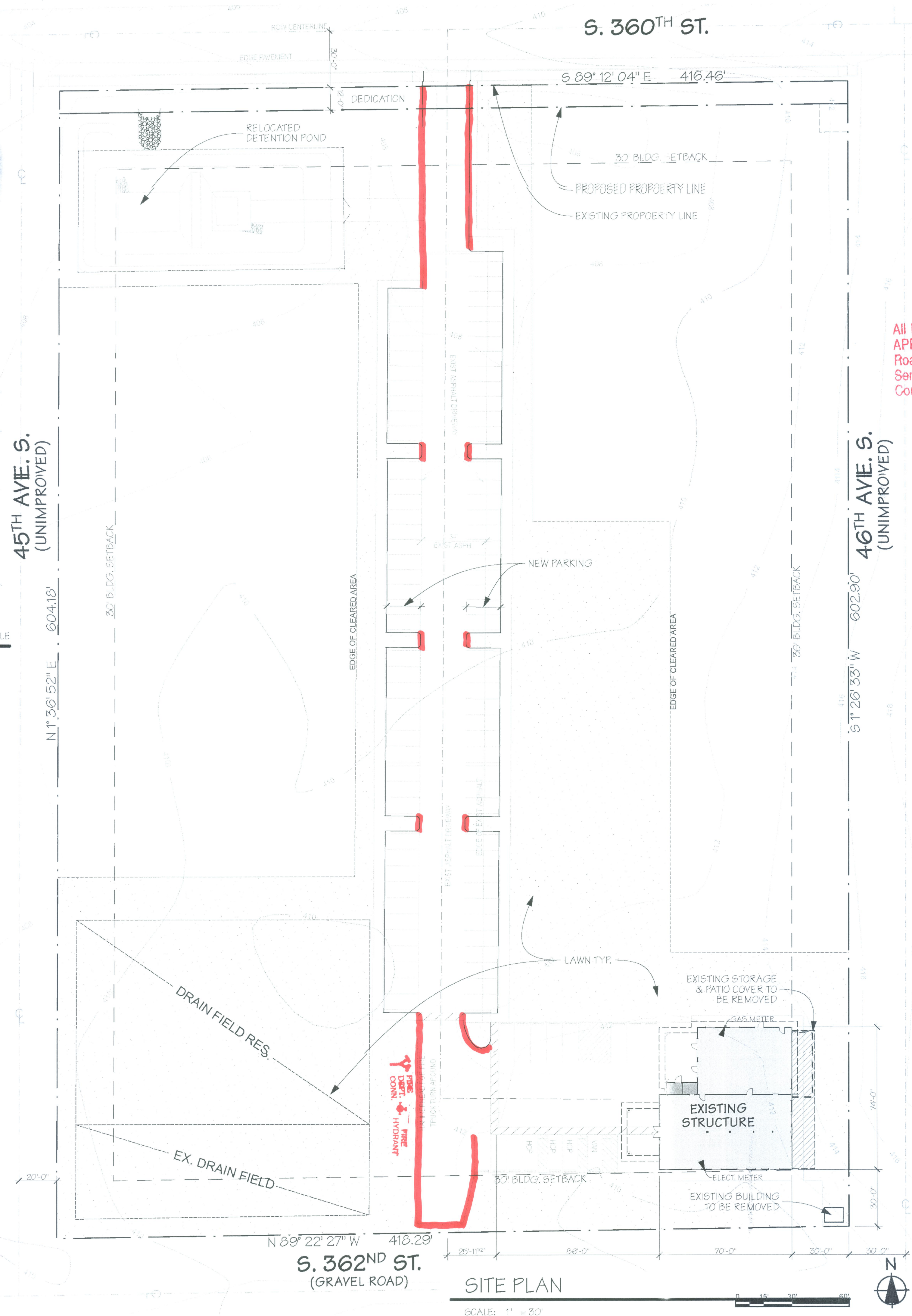
GENERAL NOTES

THE ARCHITECTURAL CONSTRUCTION DRAWINGS AND GENERAL NOTES DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, AND TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF APPLICATION, EXCEPT WHERE SPECIFICALLY NOTED. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SELECTION, FABRICATION OR INSTALLATION OF ANY SPECIFIC MATERIAL, PRODUCT OR METHOD. FIELD OBSERVATION VISITS BY THE ARCHITECT'S REPRESENTATIVE SHALL NOT BE CONSTRUED AS INSPECTION OR APPROVAL OF CONSTRUCTION.

ALL DIMENSIONS TO BE TO THE FACE OF STUD UNLESS NOTED OTHERWISE. DRAWINGS NOT TO BE SCALED FOR DIMENSIONS. CONTRACTOR TO USE CALCULATED DIMENSIONS ONLY.

NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE OCCUPANCY PERMIT.

THE EMPHASIS PLACED UPON CODE/STANDARD REQUIREMENTS DOES NOT ABSOLVE THE CONTRACTOR OR THEIR AGENTS FROM MEETING ALL THE APPLICABLE CODE/STANDARD REQUIREMENTS NECESSARY FOR THIS CONTRACT.



SITE PLAN

SCALE: 1" = 30'

SHEET INDEX

- A 1.00 COVER SHEET & SITE PLAN
- A 1.01 CODE COMPLIANCE SHEET
- A 1.02 GROUND FLOOR PLAN
- A 1.03 SECOND FLOOR PLAN
- A 1.04 ROOF PLAN & ELECTRICAL PLANS
- A 2.00 ELEVATIONS
- A 2.01 ELEVATIONS
- A 3.00 SECTIONS
- A 3.01 SECTIONS
- A 3.02 SECTIONS
- A 4.00 DETAILS
- A 4.01 FHA DETAILS
- A 4.02 FHA DETAILS

Any Changes Void This Approval Resubmit to Fire Engineering

All Required Fire Hydrants and APPROVED Fire Department Access Roads Shall Be Installed and Made Serviceable Prior To the Time of Construction.

KING COUNTY FIRE ENGINEERING REQUIREMENTS TO MEET MINIMUM FIRE-FLOW BASED UPON:

AUTOMATIC SPRINKLER REQUIRED	YES
FIRE ALARM SYSTEM REQUIRED	YES
TYPE CONSTRUCTION REQUIRED	NO
FIREWALL SEPARATIONS REQUIRED	NO

BY: *[Signature]* DATE: 1/10/11

PROJECT INFORMATION

PROJECT ADDRESS: 4511 S. 360TH ST.
AUBURN, WA 98001

PROJECT DESCRIPTION: CHANGE OF USE FROM A SINGLE FAMILY DETACHED RESIDENCE INTO A CHURCH. ADJUSTMENTS TO BUILDING TO BRING IT INTO CODE COMPLIANCE WITH NEW USE.

ACCESSORS PARCEL #: 3780200012

LEGAL DESCRIPTION: ALL OF BLOCK 4, JOVITA, AS PER PLAT RECORDED IN VOLUME 19 OF PLATS, PAGE 14-INCLUSIVE, RECORDS OF KING COUNTY, WASHINGTON.

NO PARKING FIRE LANE FIRE LANE MARKINGS MUST BE YELLOW, OR APPROVED SIGNS EVERY 50 FEET.

ZONING ANALYSIS

JURISDICTION: KING COUNTY

ZONING: R-4

SITE AREA: 251,678 S.F.
5.78 ACRES

BUILDING HEIGHT: 35 FT. ALLOWED 27'-4" EXISTING

NON-RESIDENTIAL USE SETBACKS:
NORTH P.L. (PUBLIC R.O.W.): 30 FT.
EAST P.L. 30 FT.
SOUTH P.L. 30 FT.
WEST P.L. 30 FT.

MAX. IMPERVIOUS SURFACE ALLOWED: 70% ALLOWED FOR NON-RESIDENTIAL USE

SEPARATE FIRE ENGINEERING PERMITS REQUIRED FOR:
~~HYDRANT(S) / WATERMAIN EXTENSION, SPRINKLER OR FIXED SUPPRESSION SYSTEM(S), UNDERGROUND SUPPLY LINE(S) FOR SPRINKLER SYSTEM(S) AND F.D.C.'S, FIRE ALARM SYSTEM(S), MONITORING SYSTEMS.~~

TO AVOID DELAYS, SUBMIT PERMIT APPLICATIONS AS SOON AS POSSIBLE

- UL 300 SYSTEM

CODE INFORMATION

APPLICABLE CODES: 2006 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS
2006 INTERNATIONAL FIRE CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 UNIVERSAL PLUMBING CODE WITH WASHINGTON STATE AMENDMENTS
WASHINGTON STATE ENERGY CODE
2006 WASHINGTON STATE VENTILATION & INDOOR AIR QUALITY CODE
ICC / ANSI A117.1-2003

OCCUPANCY: A-3, R-2

OCCUPANCY LOAD:

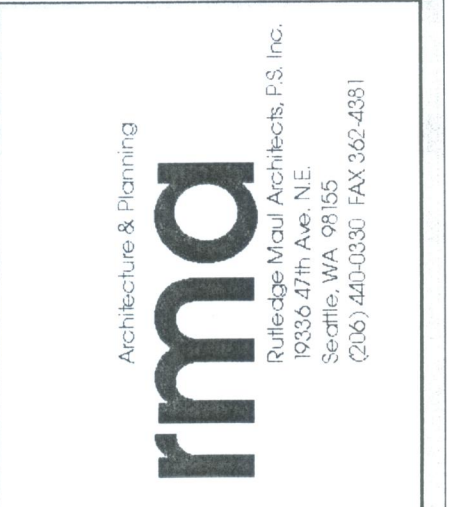
AREA	LOAD FACTOR	NET SQ. FT.	OCCUPANCY LOAD
ASSEMBLY	1/7	3,016 S.F.	431
KITCHEN	1/200 GROSS	715 S.F.	4
SLEEPING ROOM	1/200 GROSS	110 S.F.	1
TOTAL BUILDING OCCUPANT LOAD:			436

TYPE OF CONSTRUCTION: EXISTING TYPE V-B
NEW SPRINKLER (PER IBC 903.3.1.1)

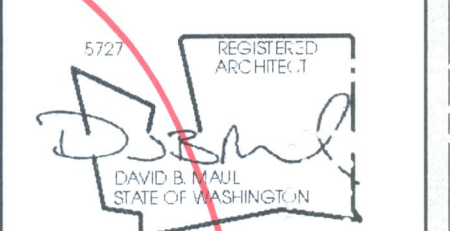
NO. OF STORIES: 2 STORIES

ALLOWABLE BUILDING AREA: TABLE 503 1 STORY & 6,000 S.F. ALLOWED
504.21 ADDITIONAL STORY ALLOWED FOR SPRINKLER
506.3 300% S.F. INCREASE FOR SPRINKLER
TOTAL: 2 STORIES, 24,000 S.F. ALLOWED

Except for Air flow VOID



RAM NIWAS CHURCH
4511 S. 360TH ST.
AUBURN, WA 98001



Project #: H-1012
Principal Architect: DAVE MAUL
Project Manager: JILL
Permit Submittal: 20 OCT 10

COVER SHEET & SITE PLAN A 1.00
Sheet No.
1 of 15
Print Date: 10/20/2010