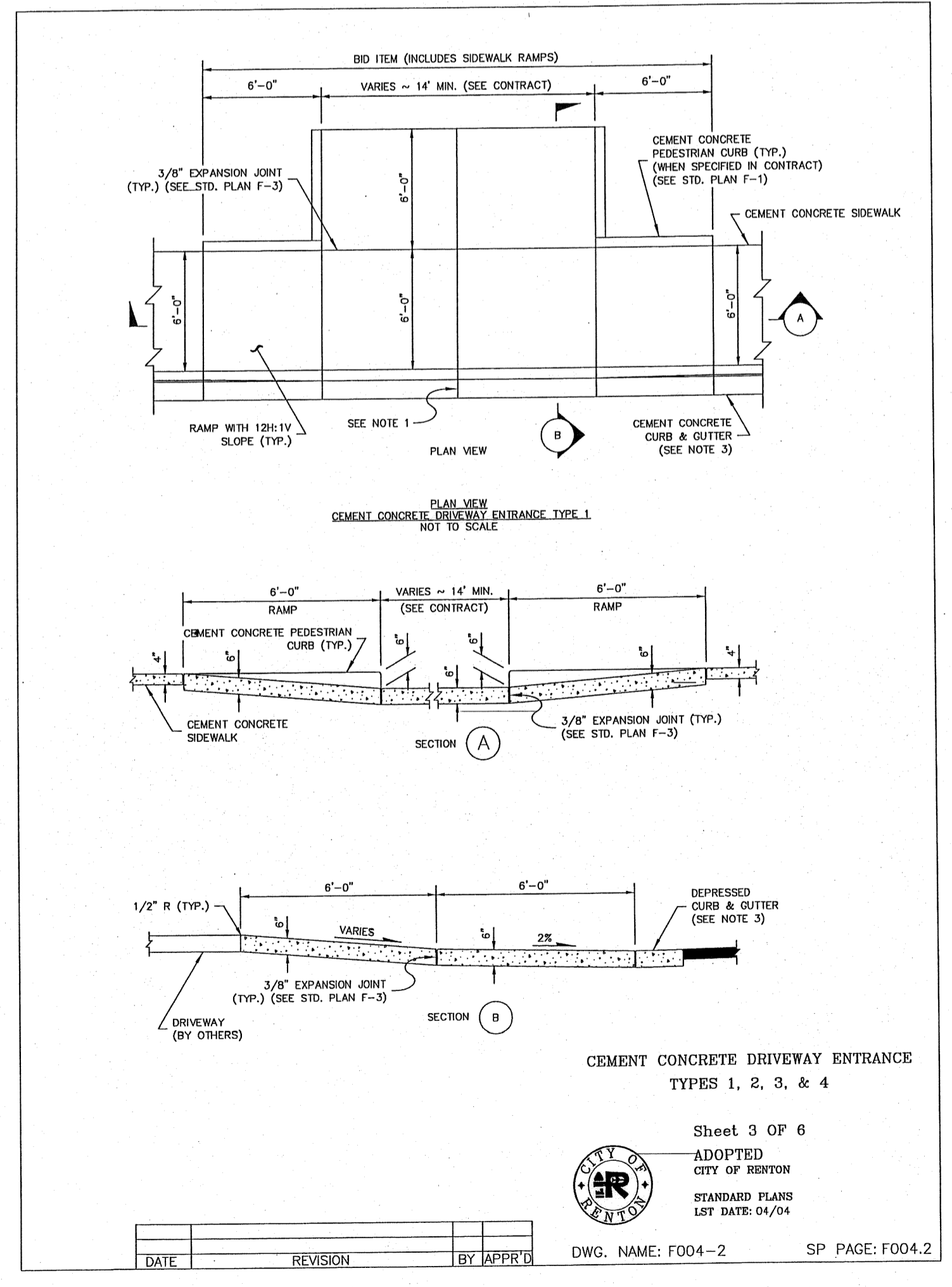
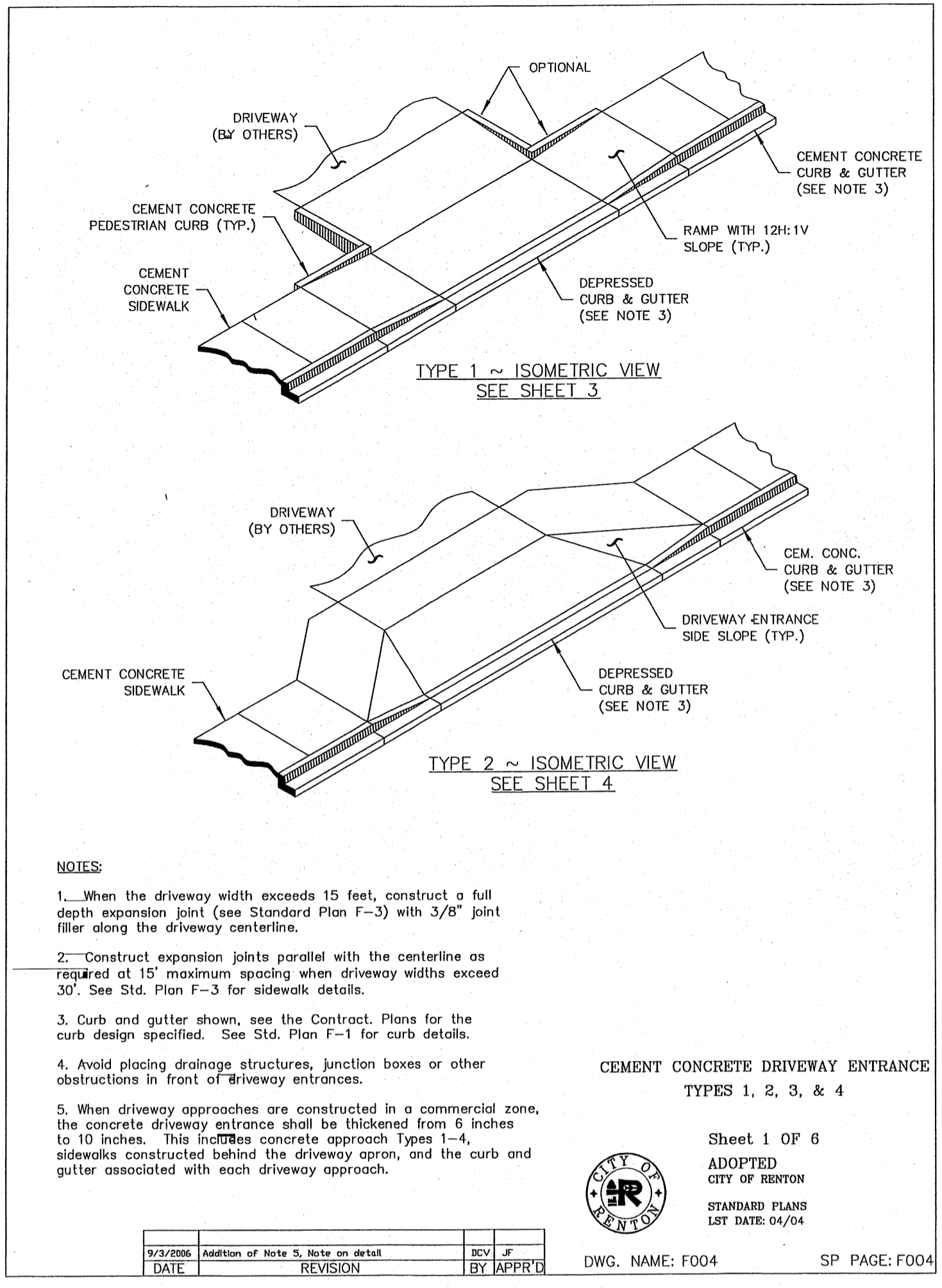


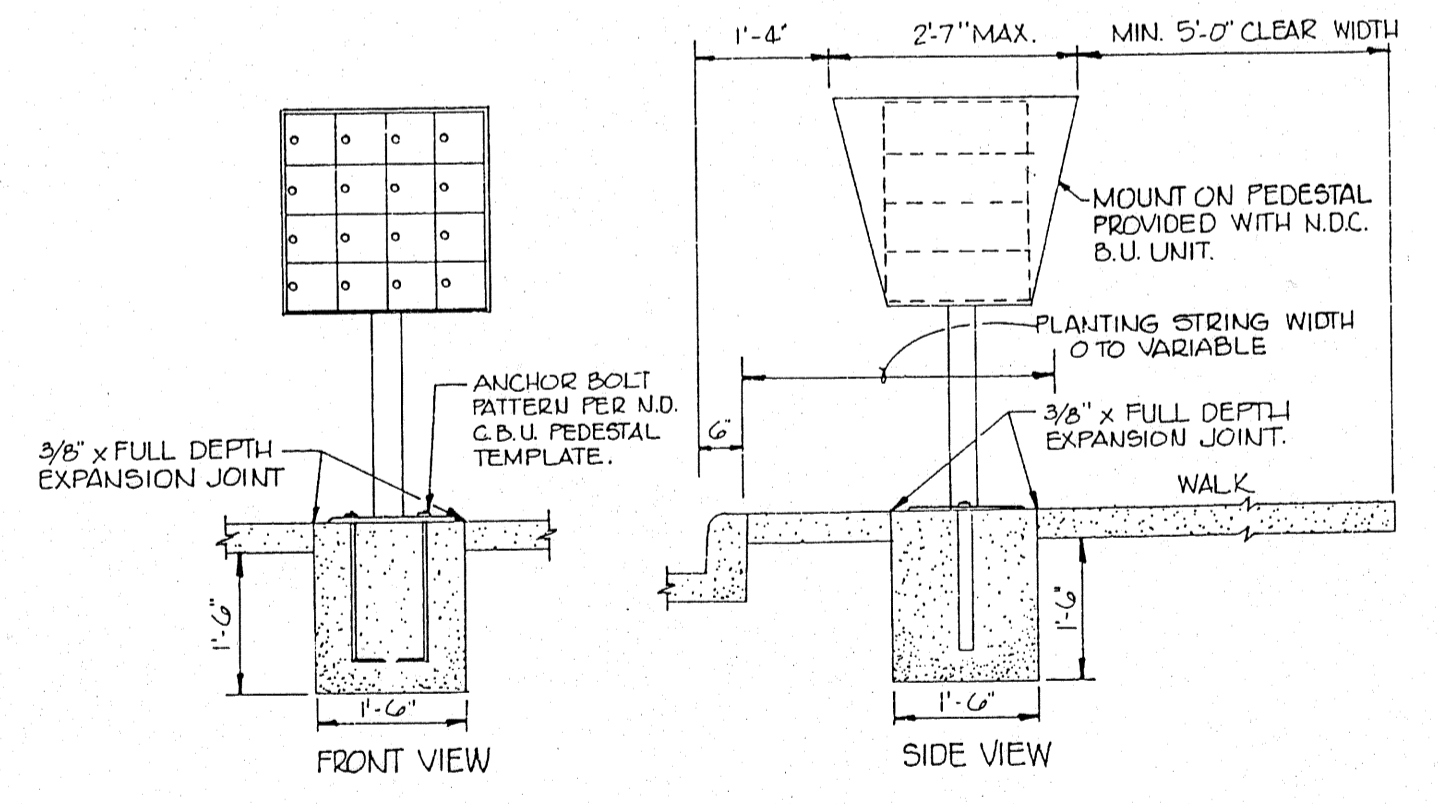
PORTION OF THE S.E. 1/4, S.E. 1/4, SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.

CD: DATE: FILEBOOK: REEDSHAW PLAT
 STA: PAGE: GRADING DETAILS AND NOTES
 PAPER SPACE: SHEET 9 OF 28
 CITY OF RENTON
 PLLOT SCALE: PER CITY OF RENTON COMMENTS
 PLLOT DATE: REVISION
 SURVEYED: LEL
 DESIGNED: LEL
 DRAWN: VK
 CHECKED: GAD
 APPROVED: GAD
 SCALE: NONE
 ONE INCH AT FULL SCALE IF NOT ONE INCH SCALE ACCURACIES
 JGC (8-20-07) LEL
 BY DATE APPR
 PER CITY OF RENTON COMMENTS
 REVISION
 NO.



PRELIMINARY PLAT APPROVAL CONDITIONS MITIGATION MEASURES :

- A GEOTECHNICAL ENGINEER SHALL DETERMINE THE SUITABILITY OF THE EXISTING ON-SITE FILL PRIOR TO ITS USE ON-SITE. THE SATISFACTION OF THIS REQUIREMENT SHALL BE REVIEWED AND APPROVED BY DEVELOPMENT SERVICES DURING CONSTRUCTION.
- AT THE TIME OF BUILDING PERMITS, ADDITIONAL GEOTECHNICAL STUDIES ADDRESSING THE SUITABILITY OF SITE SOILS FOR USE AS STRUCTURAL FILL SHALL BE PREPARED AND SUBMITTED. THE SATISFACTION OF THIS REQUIREMENT SHALL BE REVIEWED AND APPROVED BY DEVELOPMENT SERVICES.
- THE APPLICANT SHALL COMPLY WITH THE "GEOTECHNICAL ENGINEERING STUDY" PREPARED BY EARTH CONSULTANTS, INC., DATED AUGUST 30, 2004, REGARDING "SITE PREPARATION AND GENERAL EARTHWORK" AND "UTILITY SUPPORT AND BACKFILL." THE SATISFACTION OF THIS REQUIREMENT SHALL BE REVIEWED AND APPROVED BY DEVELOPMENT SERVICES DURING CONSTRUCTION, UTILITY WORK AND BUILDING CONSTRUCTION.
- THE PROJECT SHALL BE REQUIRED TO BE DESIGNED AND COMPLY WITH THE DEPARTMENT OF ECOLOGY'S (DOE) EROSION AND SEDIMENT CONTROL REQUIREMENTS, OUTLINED IN VOLUME II OF THE 2001 STORMWATER MANAGEMENT MANUAL.
- ALL CONTRACTORS ARE TO BE MADE AWARE OF THE POTENTIAL PRESENCE OF ENVIRONMENTAL CONTAMINANTS AND INSTRUCTED TO NOTIFY THE PROPERTY OWNER IMMEDIATELY, IF DISCOLORED, ODIFEROUS, OR OTHERWISE SUSPECT SOIL IS ENCOUNTERED DURING EXCAVATION ACTIVITIES.
- IF SUSPECT SOIL IS ENCOUNTERED DURING EXCAVATION ACTIVITIES, WORK IN THESE AREAS IS TO BE STOPPED UNTIL SUCH TIME AS A QUALIFIED ENVIRONMENTAL PROFESSIONAL CAN ASSESS THE OBSERVED CONDITIONS AND RECOMMEND CORRECTIVE MEASURES.
- IF THE PRESENCE OF ENVIRONMENTAL CONTAMINANTS IS CONFIRMED WITHIN THE SUSPECT SOILS AT CONCENTRATIONS EXCEEDING APPLICABLE MTCA CLEANUP LEVELS, THEN (A) THOSE SOILS ARE TO BE HANDLED AND MANAGED IN ACCORDANCE WITH MTCA AND; (B) THE WORK WILL BE MANAGED AND OVERSEEN BY A QUALIFIED ENVIRONMENTAL PROFESSIONAL AND PROPERLY DOCUMENTED AND REPORTED TO THE DEPARTMENT OF ECOLOGY (DOE) IN ACCORDANCE WITH MTCA.
- THE PROJECT SHALL COMPLY WITH THE 1998 KING COUNTY SURFACE WATER DESIGN MANUAL TO MEET BOTH DETENTION (LEVEL 2 FLOW CONTROL) AND WATER QUALITY IMPROVEMENTS.
- THE APPLICANT SHALL PAY THE APPROPRIATE FIRE MITIGATION FEE BASED ON A RATE OF \$488.00 PER NEW SINGLE-FAMILY LOT. CREDIT TO BE GIVEN FOR THE EXISTING THREE RESIDENCES. THE FEE SHALL BE PAID PRIOR TO THE RECORDING OF THE FINAL PLAT.
- THE APPLICANT SHALL PAY THE APPROPRIATE TRAFFIC MITIGATION FEE BASED ON \$75.00 PER EACH NEW AVERAGE DAILY TRIP ASSOCIATED WITH THE PROJECT. CREDIT TO BE GIVEN FOR THE EXISTING THREE RESIDENCES. THE FEE SHALL BE PAID PRIOR TO THE RECORDING OF THE FINAL PLAT.
- THE APPLICANT SHALL PAY THE APPROPRIATE PARKS MITIGATION FEE BASED ON \$530.76 PER NEW SINGLE-FAMILY LOT. CREDIT TO BE GIVEN FOR THE EXISTING THREE RESIDENCES. THE FEE SHALL BE PAID PRIOR TO THE RECORDING OF THE FINAL PLAT.
- EVERGREEN AND DECIDUOUS TREES (I.E. DOUGLAS FIR, WESTERN HEMLOCK, AND BIG LEAF MAPLE) SHALL BE PLANTED ON 15-FOOT CENTERS WITHIN THE 25-FOOT WIDE BUFFER ALONG THE EAST SIDE OF THE STREAM. TWO-GALLON SIZE TREE STOCK SHALL BE USED. PLANTING SHOULD OCCUR IN THE FALL TO ALLOW PLANTS TO DEVELOP ROOTS OVER THE WINTER. THE SATISFACTION OF THIS REQUIREMENT SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DEVELOPMENT SERVICES DIVISION.
- DURING SITE PREPARATION AND CONSTRUCTION OF IMPROVEMENTS AND RESIDENCES, THE APPLICANT SHALL INSTALL SILT FENCING WITH BRIGHTLY COLORED CONSTRUCTION FLAGS TO INDICATE THE BOUNDARIES OF THE STREAM/CREEK BUFFER. THE SATISFACTION OF THIS REQUIREMENT SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DEVELOPMENT SERVICES DIVISION AND BE COMPLETED PRIOR TO THE ISSUANCE OF CONSTRUCTION/UTILITY PERMITS.
- AFTER THE DEVELOPMENT OF ROADWAY AND UTILITY IMPROVEMENTS, THE APPLICANT SHALL INSTALL PERMANENT FENCING (I.E. SPLIT-RAIL FENCE OR OTHER APPROVED BARRIER) AND SIGNAGE ALONG THE ENTIRE EDGE OF THE STREAM/CREEK BUFFER. THE SATISFACTION OF THIS REQUIREMENT SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DEVELOPMENT SERVICES DIVISION PRIOR TO RECORDING OF THE FINAL PLAT.



NOTES
 1. INSTALLATION OF N.D.C.B.U. INCLUDING CONSTRUCTION OF BASE WILL BE DONE BY U.S. POSTAL SERVICE.

R-337209

CHECKED FOR COMPLIANCE TO CITY STANDARDS

____ Date _____

____ Date _____

____ Date _____

RECOMMENDED FOR APPROVAL

BY: _____

BY: _____



15445 53RD AVE. S.
 SEATTLE, WA 98188
 PHONE: (206) 431-7970
 FAX: (206) 388-1648
 WEB SITE: PACENG.COM

Pacific Engineering Design, LLC

Civil Engineering and Planning Consultants

REEDSHAW PLAT

RENTON, WA

FOR: MASTRO PROPERTIES
 510 RAINIER AVENUE SOUTH
 SEATTLE, WA 98144
 PHONE: (206) 276-7124 FAX: (206) 735-4689

PROJECT NO.: **06085**

DRAWN BY: **VK**

ISSUE DATE: **12/05/06**

SHEET REV.: **10/30/07**

GRADING DETAILS AND NOTES

06085D02-C09.DWG

C09

SHEET 9 OF 28