

PORTION OF THE S.E. 1/4, S.E. 1/4, SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.

REEDSHAW PLAT

RENTON, WA.



(PROJECT NO. 04037)

(PARCEL NO. 0423059064)

OWNER/DEVELOPER: MASTRO PROPERTIES
510 RAINIER AVENUE S.
SEATTLE, WA 98144
PHONE: (206) 276-7124
FAX: (253) 735-4689

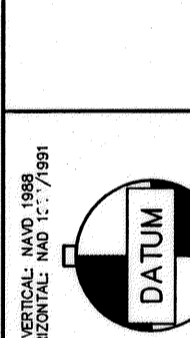
CIVIL ENGINEER: PACIFIC ENGINEERING DESIGN, LLC
15445 53RD AVE. S.,
SEATTLE, WA 98188
PHONE: (206) 431-7970
FAX: (253) 631-4343

SURVEYOR: HANSEN SURVEYING
17420 116TH AVE S.E.
RENTON, WA 98058
PHONE: (425) 235-8440

REEDSHAW PLAT

COVER SHEET

CITY OF RENTON



SCALE: 1" = 40'

DATE: 08-20-07

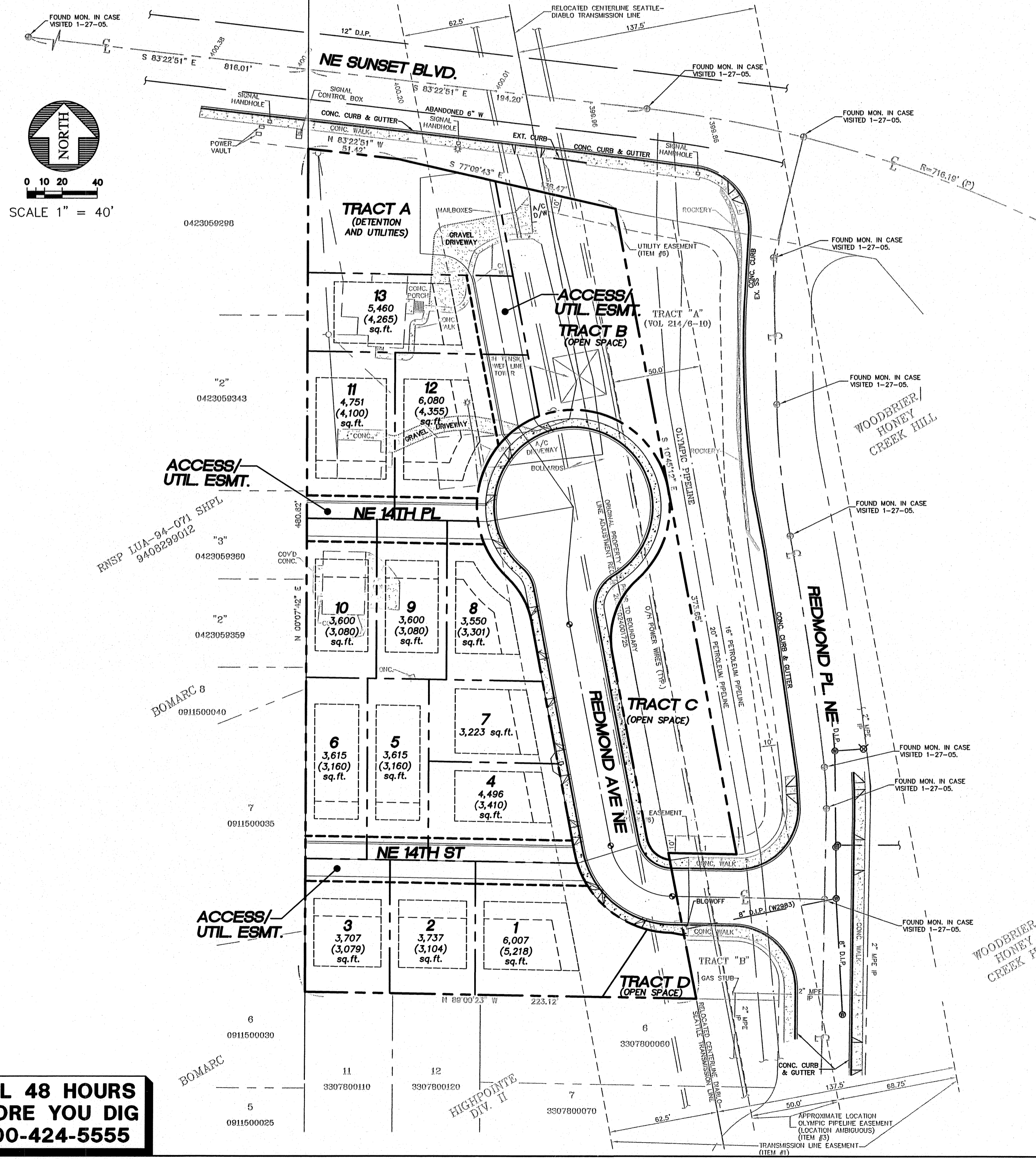
BY: JCC

REVISION

PER CITY OF RENTON COMMENTS

NO. 2

FILENAME



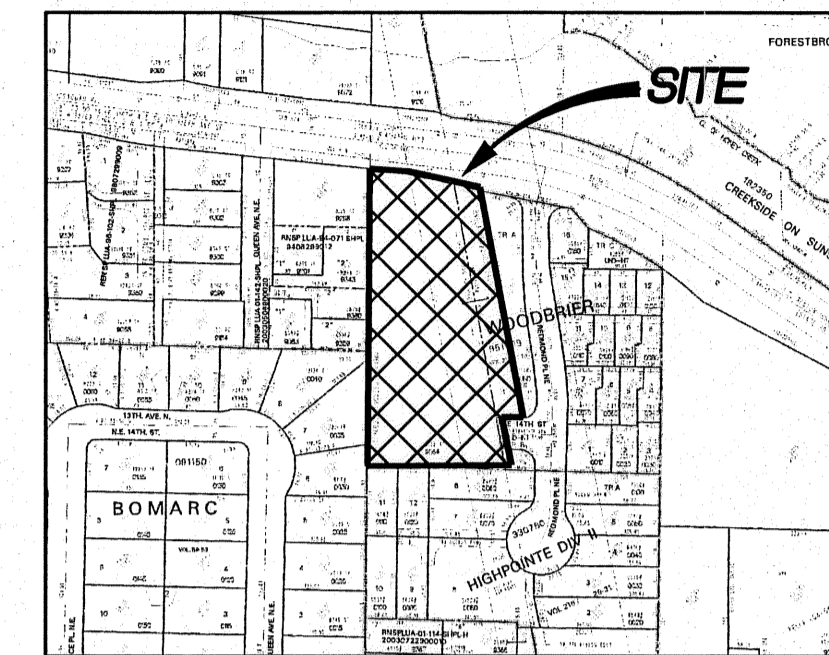
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- C20 - SANITARY SEWER DETAILS AND NOTES
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LEGEND

- 2 - LOT NUMBER
- 3,737 (3,098) sq.ft. - GROSS LOT AREA
- NET LOT AREA OUTSIDE ACCESS EASEMENT
- PROPERTY LINE

VICINITY MAP



ZONING

R-10

SITE AREA

2.25 ACRES (98,067 SF)

BASIS OF BEARING

BASIS OF BEARINGS IS PLAT OF HIGHPOINT DIVISION II (A.K.A. GREENFIELD II), VOL. 216 PG. 30 SITE AREA = 98082.67 S.F. OR 2.25 ACRES +/-

VERTICAL DATUM

VERTICAL DATUM: CITY OF RENTON (NAVD88)

BENCHMARK

SITE BENCH MARK:

A 1-1/2" FLAT BRASS DISC WITH A PUNCH MARK ON A 4" X 4" CONCRETE POST MONUMENT DOWN 0.6" IN A MONUMENT CASE AT THE CONSTRUCTED INTERSECTION OF NE 12TH STREET AND UNION AVENUE NE. (CITY OF RENTON #159)
ELEV. = 415.95'

NOTE:

CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7:00AM AND 8:00PM, MONDAY THROUGH FRIDAY AND 9:00AM AND 3:00PM SATURDAY (RMC SECTION 4-4-030.C.3.B). IN ADDITION, HAUL HOURS ARE LIMITED TO THE HOURS BETWEEN 8:30AM AND 3:30PM MONDAY THROUGH FRIDAY, UNLESS APPROVED IN WRITING IN ADVANCE BY THE DEVELOPMENT SERVICES DIVISION (RMC 4-4-030.C.2).

LEGAL DESCRIPTION

THAT PORTION OF THE WEST 470 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 23 NORTH, RANGE 5 EAST, IN KING COUNTY, WASHINGTON, LYING WEST OF THE CENTERLINE OF THE RELOCATED DIABLO-SEATTLE TRANSMISSION CENTERLINE RIGHT OF WAY;

EXCEPT THEREFROM THE SOUTH 470 FEET AND ALSO EXCEPTING THAT PORTION LYING NORTH OF THE SOUTH LINE OF PRIMARY STATE HIGHWAY NO. 2 (RENTON-ISSAQUAH ROAD); ALSO

EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 7107300165.

TOGETHER WITH THE WESTERLY 38 FEET OF TRACT A, WOODBRIER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 214 OF PLATS, PAGES 6 THROUGH 10, IN KING COUNTY, WASHINGTON.

PROPERTY ADDRESS: 3705 NE SUNSET BLVD., RENTON, WA

TAX PARCEL NO.: 0423059064

PARCELS		
PARCEL	AREA IN SF	AREA IN AC
LOT 1	6006.84	0.14
LOT 2	3737.30	0.09
LOT 3	3706.90	0.09
LOT 4	4495.89	0.10
LOT 5	3614.67	0.08
LOT 6	3614.67	0.08
LOT 7	3222.70	0.07
LOT 8	3549.55	0.08
LOT 9	3600.41	0.08
LOT 10	3600.41	0.08
LOT 11	4750.54	0.11
LOT 12	6080.18	0.14
LOT 13	5459.91	0.13
TRACT A	7069.28	0.16
TRACT B	8487.81	0.19
TRACT C	7849.18	0.18
TRACT D	1419.05	0.03
ROAD A	17817.37	0.41
06085 REEDSHAW PLAT	98082.67	2.25

R-337201

CHECKED FOR COMPLIANCE TO CITY STANDARDS

Date _____

RECOMMENDED FOR APPROVAL

BY: *[Signature]* 11/19/07
BY: *[Signature]* 12/10/07

15445 53RD AVE S.
SEATTLE, WA 98188
PHONE: (206) 431-7970
FAX: (206) 388-1648
WEB SITE: PACENG.COM

Pacific Engineering Design, LLC

Civil Engineering and Planning Consultants

REEDSHAW PLAT

FOR: MASTRO PROPERTIES
510 RAINIER AVENUE SOUTH
SEATTLE, WA 98144
PHONE: (206) 276-7124 FAX: (253) 735-4689

PROJECT NO.: 06085

DRAWN BY: VK

ISSUE DATE: 12/05/06

SHEET REV.: 10/30/07

COVER SHEET

06085CV01-C01.DWG
C01
SHEET 1 OF 28

CALL 48 HOURS BEFORE YOU DIG 1-800-424-5555